



SEASCAPE ON FIG TREE HILL

Design Guidelines



SEASCAPE ON FIG TREE HILL

ACKNOWLEDGEMENTS

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24 March 2005; Issue #5

Design Guidelines

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Design Guidelines

I. VISION FOR SEASCAPE ON FIG TREE HILL

The development of Seascape on Fig Tree Hill presents a unique opportunity to establish an integrated community in a beachfront setting.

The following Design Guidelines are intended to assist in creating attractive contemporary housing within a distinct coastal surrounding.

On completion it is our vision that the design of the homes will reflect the particular coastal character, incorporating community identity with a strong sense of openness and individuality.





Land Use

- Residential Lots
- Parks (Play Areas)
- School (Primary School)



context

Prepared for The Carrivik Group by Context Landscape Design 52-58 William Street East Sydney NSW 2011 Ph 82440190
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SEASCAPE ON FIG TREE HILL
 Master Plan

Design Guidelines

2. HOW TO USE THE GUIDELINES

Characterised by astonishing views over Diamond Beach, Seascape on Fig Tree Hill is a distinctive development that reflects the coastal environment and the bushland valleys within the site. The strong design framework with its range of streetscape avenues, passive and active recreational open spaces and landscape features will present a premium standard of design which will create a unique community to live in.

The aim of the Design Guidelines is to create contemporary dwellings and landscape settings that complement the high standards of the development whilst maintaining opportunities for diversity of product and variety in design within each part of the community.

The Design Guidelines will ensure that the high quality of the public realm design will be carried through to private properties and guarantee a consistently excellent design. These guidelines have been prepared to help with the design of homes that complement the high standards of the development and to ensure the lifetime protection and security of each homebuyer's investment.

Where the guidelines include mandatory requirements, these will be incorporated in covenants that are conveyed with the title of the land.

In case of resale of the allotment, the Design Guidelines must be part of the contract of sale and be handed over to the new land holder.

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Design Guidelines

RELATIONSHIP TO COUNCIL'S CODE

It should be noted that in meeting these Design Guidelines and securing an endorsement from the Design Approval Panel does not constitute an approval by Greater Taree City Council and shall not prejudice any of their considerations. Applicants should ensure that their plans meet all of the Council's requirements and that sufficient documentation is provided to allow the Council to properly consider each application.

While these Design Guidelines incorporate a description of the controls from the Council's planning requirements, applicants should consult with Council's current DCP's, other applicable controls and make their own independent enquiries directly with Council's officers for any further information.

These Guidelines are to be complied with in addition to the Greater Taree City Council codes.



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3. DESIGN REVIEW PANEL

In order to ensure a development of premium quality that embraces contemporary architectural styles and energy efficient design, a Design Review Panel will be created to comment on housing and landscape design prior to Development Approval. The Design Review Panel will review designs promptly and consider applications in a clear and efficient manner.

Consisting of the Cornish Group's landscape architects and architects, the Design Review Panel's main aim is to provide an understanding of the Design Guidelines and to assist with preparing house and landscape plans that achieve the performance criteria.

The Building Review Application can be lodged prior to the registration of the land and the formal development submission to the local authority. The Design Review Panel's decisions are given prior to the approval of any requirements of the local authority and not in lieu of this approval.

In the event that the Design Review Panel allows a variation from these Design Guidelines, the variation will neither set a precedent nor imply that the approval will be repeated. It will be done at the Cornish Group's absolute discretion.



Design Guidelines



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3.1 A To Do List

Step 1: Design of your Home

1

APPOINTMENT OF ARCHITECT AND LANDSCAPE ARCHITECT

Appoint your architect to design your home, appoint Landscape Architect to design your garden.

REVIEW

Architect and buyer review Design Guidelines, Covenants and Council Requirements.

SITE PLANNING

Each dwelling should be designed to maximise the natural identity of its surrounds. Important characteristics are:

- Orientation;
- Prevailing breezes;
- Solar access;
- Potential views to the beach;
- Points of access;
- Relationship to adjoining allotments;
- Site topography/ contours.

ALLOTMENT TYPES

Only one house will be permitted on each allotment. Subdivision of your allotment is not permitted. It should be noted that there are specific guidelines that apply to allotment types within this document (refer to Section 6 Dwelling Design — Individual Allotment Types.)

Design Guidelines

Step 2: Design Application

2

The following items must be submitted in full to the Design Review Panel for review and approval prior to lodging an application for development approval:

APPLICATION FORMS AND CHECKLISTS

Refer Appendix 1 Building Review Application.

SITE PLAN (1:200), INCLUDING:

- Dimensions and areas of proposed building structure;
- Setbacks to all boundaries and private open space dimensions;
- Original and proposed finished ground levels, including changes in level;
- Allotment boundaries, dimensions, areas;
- Driveways, parking areas, all hardstand surfaces (including paving and pools);
- Details of proposed walls, garden structures.

FLOOR PLANS, ROOF PLAN, ELEVATIONS, LANDSCAPE PLAN (1:100), INCLUDING:

- Internal layout including rooms, balconies, verandahs, decks, windows, openings and dimensions;
- Elevations from four sides, indicating proposed building height above existing ground level;
- Roof form and pitch plus water collection and storage system;
- Longitudinal and Cross Sections;
- Shadow diagrams;
- Landscape plan.

MATERIALS AND COLOUR SCHEDULE, INCLUDING:

- Colour schedule for external walls, roofing, pathways, driveways, fencing, retaining walls;
- Materials and Finishes schedule for hardscape elements including external walls, roofing, pathways, driveways, fencing, retaining walls, edging;
- Plant schedule showing species, container size, quantity.

Step 3: Design Review and Approval

3

Dwelling designs (including items outlined in Step 2) along with application forms will be submitted to the Design Review Panel for review.

The Design Review Panel will promptly approve those plans that comply with the Design Guidelines. You can expect your approval to be returned within 15 working days. If a design varies from the criteria, or solutions outlined, the Design Review Panel will provide a list of the items which require further consideration. If amendments are deemed necessary the altered plan will need to be re-submitted to the Design Review Panel for approval prior to step 4.

Step 4: Construction

4

Upon receiving approval from the Design Review Panel, an application for development consent and construction certificate can be made to the Greater Taree City Council or Principal Certifying Authority.

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4. STAGES OF DEVELOPMENT

4.1 COMMENCEMENT OF HOUSE

Plans must be submitted, in compliance with these Design Guidelines, to the Design Review Panel (refer Chapter 3 Design Review Panel) within 2.5 years following the settlement date of the land and construction must commence within 3 years of the settlement date. Should this program not be met, or the purchaser does not make the best endeavours, the Cornish Group reserves the right to repurchase the allotment in accordance with the contract of sale.



Design Guidelines

4.2 COMPLETION OF HOUSE

Construction of the house and fencing must be completed within 12 months of commencement. Any damage occurring to the footpath, kerb, nature strips (including street trees) or adjoining land during construction must be rectified within this timeframe.

4.3 COMPLETION OF LANDSCAPING

Landscaping within public view, as assessed by the Design Review Panel, i.e. front yards, side yards and rear yards where adjoining a public reserve or roadway, must be completed within three months of the house and fence completion.

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5. DWELLING DESIGN GENERAL ELEMENTS

5.1 SITE PLANNING

Each house should be designed to reflect and celebrate the natural characteristics of the unique coastal setting. The design guidelines seek Australian Beach style homes designed for the Australian climate with an emphasis on indoor-outdoor spaces, balconies and verandahs. Houses should take advantage of prevailing ocean views and breezes.

Relevant site constraints including street services, easements, available access, privacy and solar orientation should also be considered.

All dwellings, except ancillary structures shall have their main entrance opening readily identifiable from the street. Dwellings adjacent to a public reserve must address the open space by way of design, fenestration and dwelling entry.



Design Guidelines

5.2 SITE COVER AND SETBACKS

Council Requirement

Refer to Draft Greater Taree Residential Development Control Plan No. 40. A minimum street boundary setback of 5m is required. For corner blocks, the minimum setback from a secondary frontage is 3m. Side and rear setbacks of a minimum of 900mm are required.

Design Guideline Requirement

Dwellings are to demonstrate variation in the development envelope, and to provide adequate opportunity for the absorption of stormwater within allotments.

The maximum site cover requirements are:

- 75% ground floor, inclusive of driveways, garages, porches, decking and paved areas;
- 25% first floor.

Building forms are to be modulated such that:

- The maximum length of a wall without a change in plane is to be 30% of the length of the site.

TRADITIONAL ALLOTMENTS:

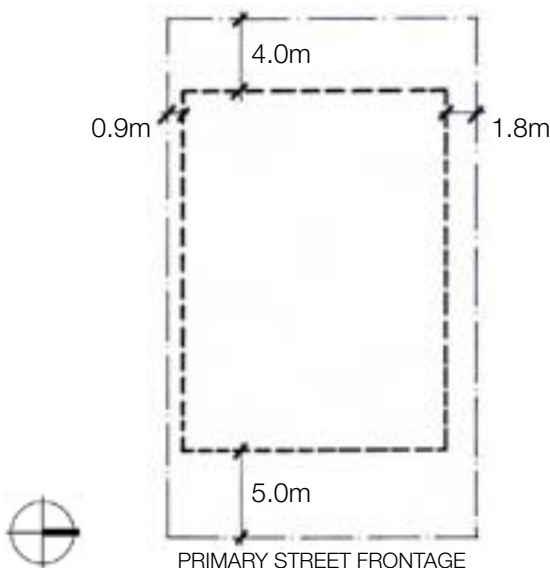
The following building setbacks are required for traditional allotments:

- Front: 5m from street frontage;
- Sides: 0.9m from one side boundary, 1.8m from the other side boundary. The larger setback is to be located on the side of the dwelling whose orientation has the most north aspect;
- Rear: 4m from rear boundary;
- Zero lot lines will not be accepted.

CORNER ALLOTMENTS:

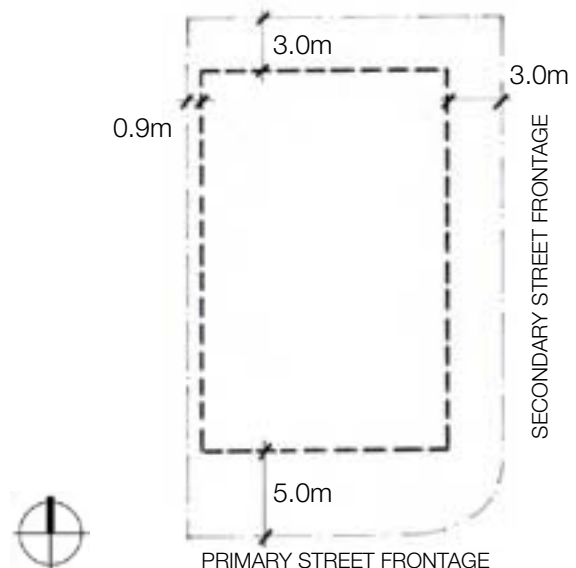
The following building setbacks are required for corner allotments:

- Front: 5m from primary street frontage;
- Side: 3m from secondary street frontage, 0.9m from side boundary;
- Rear: 3m from rear boundary;
- Zero lot lines will not be accepted.



Traditional Allotment

Figure 2 Building Setback Guidelines



Corner Allotment



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5.3 FLOOR AREAS

Council Requirement

Refer to Draft Greater Taree Residential Development Control Plan No. 40. The DCP requires that the ratio of the gross floor space of any dwelling to the area of the allotment on which it is erected shall not exceed 0.5:1. Areas of carports and garages are excluded from the calculation of floor space.

Design Guideline Requirement

Minimum floor area requirements should be met in order to establish a consistent neighbourhood character. All dwellings on lots of 600sqm or more must incorporate a minimum floor space ratio of 0.3:1, dwellings on lots under 600sqm must incorporate a minimum floor space ratio of 0.35:1 (exclusive of garages, balconies, decks etc).

5.4 BUILDING HEIGHT

Council Requirement

Refer to Draft Greater Taree Residential Development Control Plan No. 40. The DCP requires that the maximum height of a dwelling be as follows:

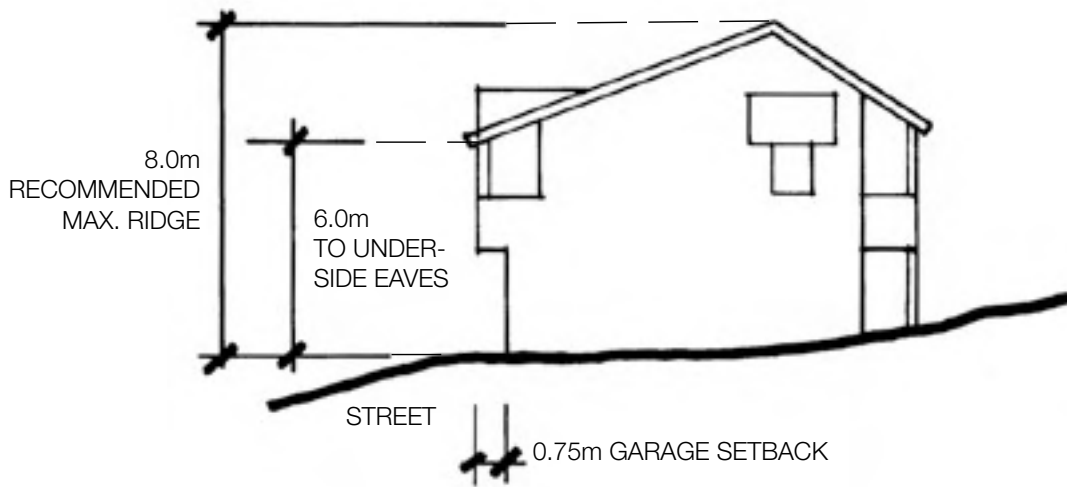
Where the entry from the street is at ground level, the maximum permissible height of the street façade is 6m from the ground line at the point of dwelling entry to the junction between wall and the underside of the eave. Neither the street façade nor the down-slope elevation may contain more than two habitable levels.

The maximum permissible height of a building at any point on the street and rear facades is measured from a line linking the points of natural ground level to the point of the junction of the wall and the underside of the eave.

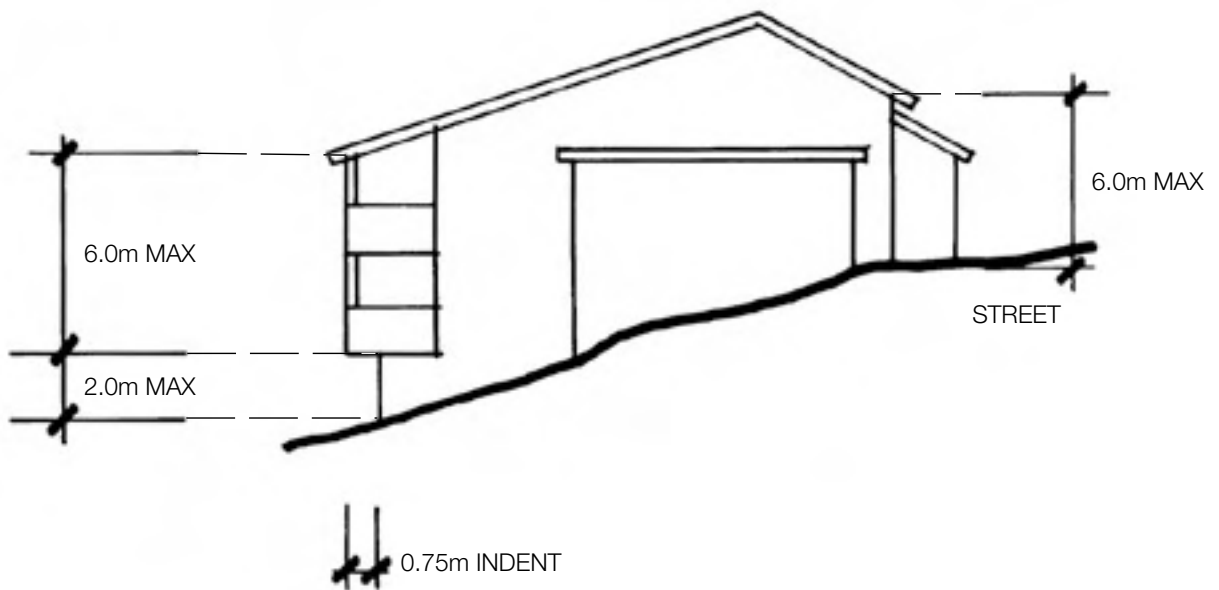
Design Guideline Requirement

The location and extent of permissible two-storey portions of dwellings have been stipulated in these Design Guidelines in order to ensure that solar aspect and ocean views are able to be maintained from each dwelling. This information is outlined in Appendix 2 — Building Envelope Master Plan. An individual Building Envelope Plan for each lot is provided separately .

Design Guidelines



Flat Site



Sloping Site

Figure 3 Building Heights Guidelines — from Council's DCP

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5.5 GARAGES

Council Requirement

Refer to Draft Greater Taree Residential Development Control Plan No. 40. The DCP requires that:

The combined garage and driveway space on each dwelling lot must be long/ wide enough to accommodate two vehicles behind the street boundary.

Garages and stacked parking areas should not occupy more than 50% of the site frontage.

Design Guideline Requirement

Vehicles must be accommodated on site with minimal obtrusiveness. The location and treatment of garages, garage doors and carports must be designed as an integral part of the dwelling and contribute positively to the streetscape.

Each dwelling must provide a minimum of two enclosed, off-street car parking spaces. Enclosed garages are preferred to carports. If carports are to be included, their design should be integrated with and compliment the architecture of the main dwelling. Carports may not be used as storage areas, these should be discretely located at the rear of the dwelling and not be visible from the street or public domain.

However, the carport may be designed to include built-in joinery to accommodate some storage area. This must be neatly concealed from the street.

The following garage design requirements apply:

- Garages must be designed as an integral part of the dwelling and accommodated under the main dwelling roof.
- Garages must be set back from the front building façade or alignment by a minimum of 1.5m. Exceptions may be made for steep lots at the discretion of the design review panel.
- Triple garage doors will not be accepted. Where a third parking space or boat/ trailer/ caravan space is required this may be accommodated in a tandem arrangement behind the main garage.
- Detached garages, sheds or ancillary storage facilities must not be visible from the public realm. Exceptions may be made for corner blocks at the discretion of the design review panel.
- The width of the garage may not exceed 50% of the front building façade.

The following garage door requirements apply:

- Doors must be sectional overhead or tilt doors either in a double door arrangement or two single doors. Materials should be timber or Colorbond steel or transparent materials such as batters and mesh. In case of transparent garage doors provisions must be made for any storage within the garage to be concealed from view from the street.
- Roller shutter doors will not be permitted.

Design Guidelines

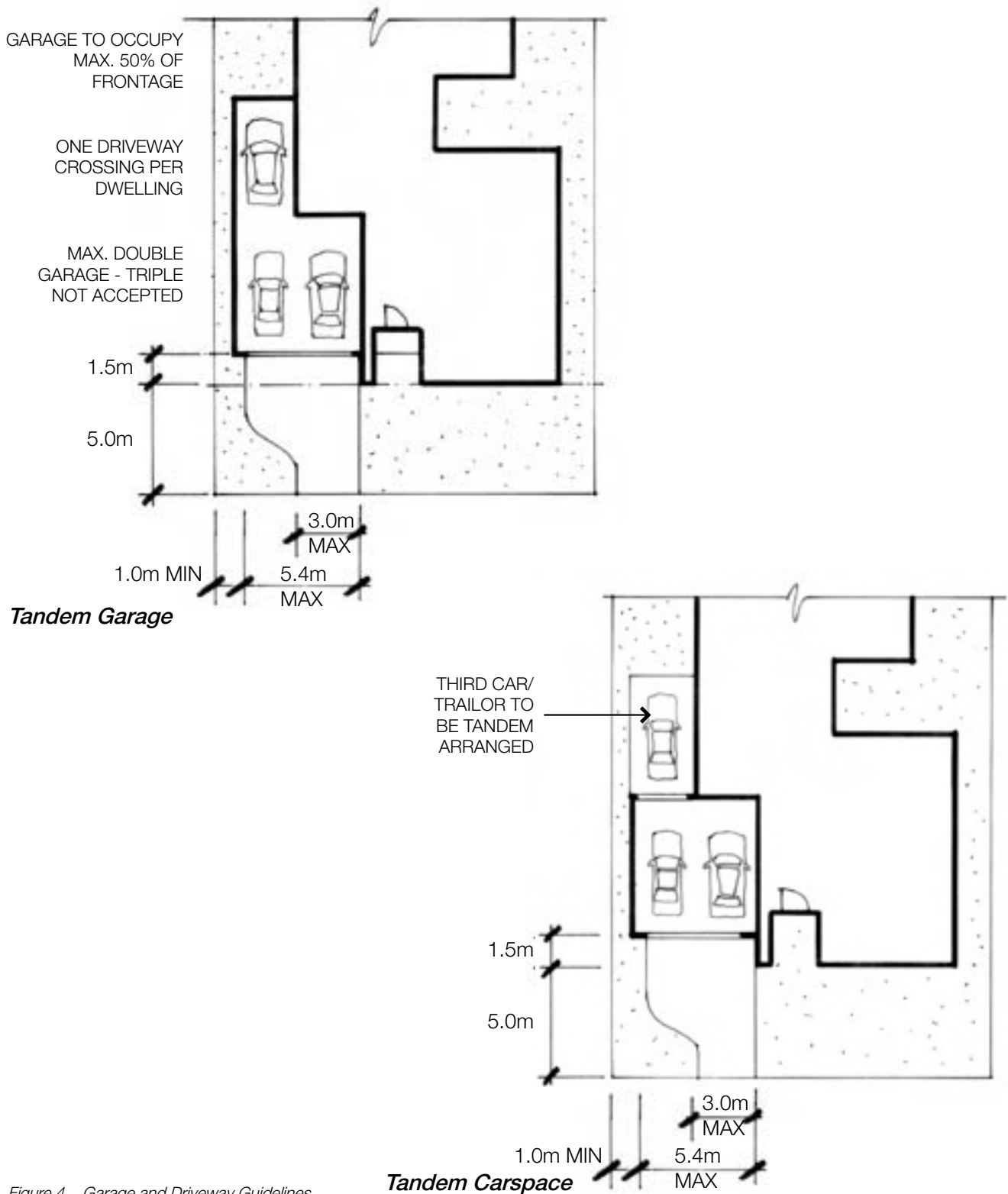


Figure 4 Garage and Driveway Guidelines

5.6 DRIVEWAYS

Council Requirement

Refer to Draft Greater Taree Residential Development Control Plan No. 40. The DCP requires that:

- Hardstand areas must be minimised, and where soil conditions permit, be substantially constructed using semi-pervious materials.
- Driveways must be set back a minimum of 1m from side boundaries to allow effective screen planting along the boundary.
- Where driveways are classified as steep (slope greater than 1:5), the maximum permissible length of the driveway so classified must be 7.5m.

Design Guideline Requirement

The following driveway requirements apply:

- Only one driveway is permitted per dwelling lot.
- The driveway may not be wider than 5.4m for double garages, splayed from a single crossing width of 3m at the property boundary.

Approved driveway finishes include:

- Masonry/ clay paving;
- Precast coloured concrete pavers;
- Exposed aggregate concrete finish;
- Coloured concrete with feature inserts.

Plain uncoloured concrete, painted concrete or stencilled concrete are not permitted. For steep sites, lightweight timber or steel bridge structures connecting the road and the garage may be used.

Design Guidelines

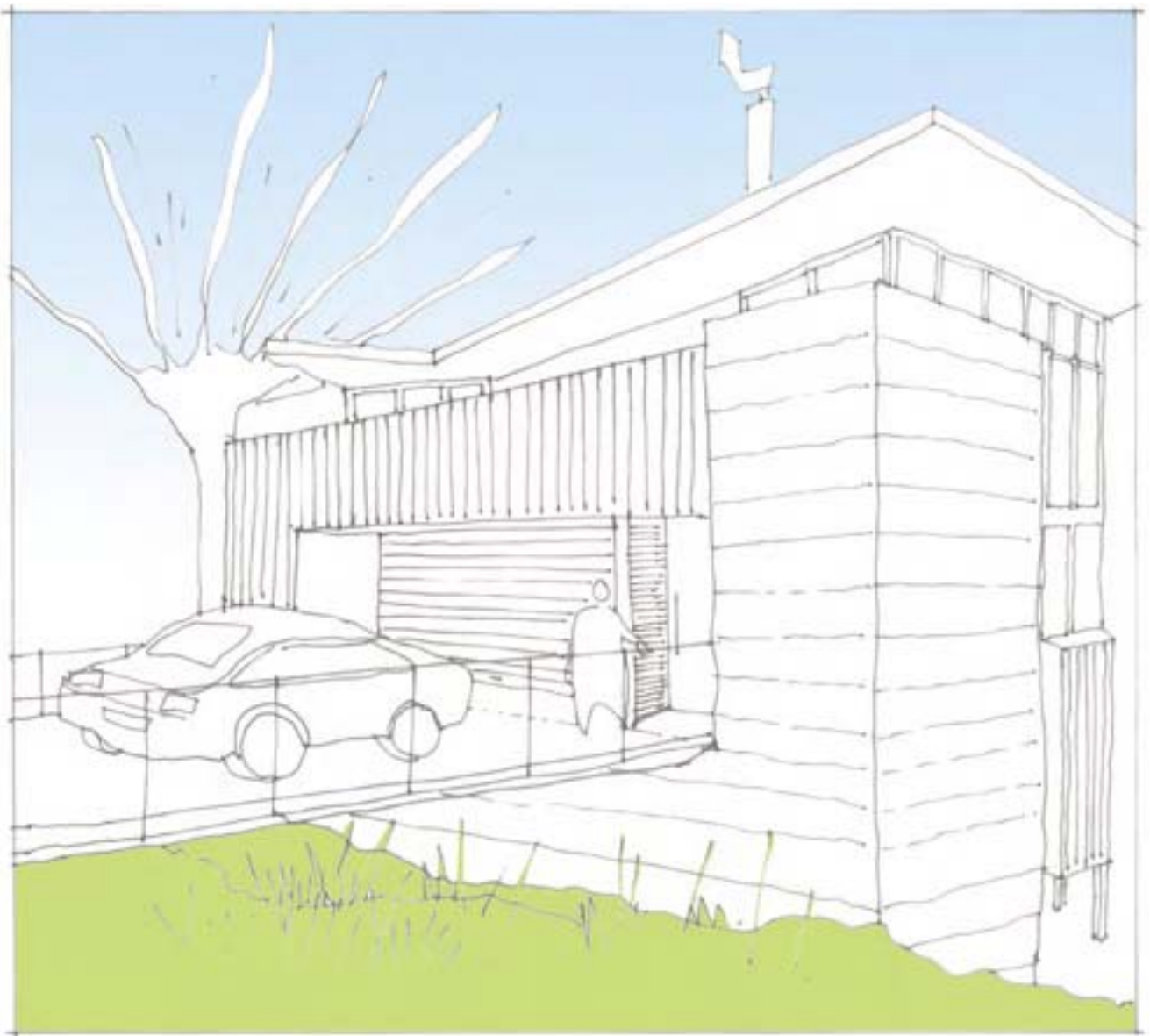


Figure 5 Driveway Guidelines — For steep sites, lightweight bridge structures may be used.

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5.7 PRIVACY

ACOUSTIC PRIVACY

Council Requirement

Refer to Draft Greater Taree Residential Development Control Plan No. 40. The DCP requires that:

- Particular attention should be paid to building siting and design to minimise exposure of habitable rooms to excessive traffic noise.
- A minimum line of sight separation of 3m is required between parking areas/ streets/ shared driveways and all bedroom windows;
- A minimum separation of 3m is required between all wall openings of adjacent buildings;
- All opposing windows on adjacent lots should be offset in accordance with the sketched requirements (see Figure 7).

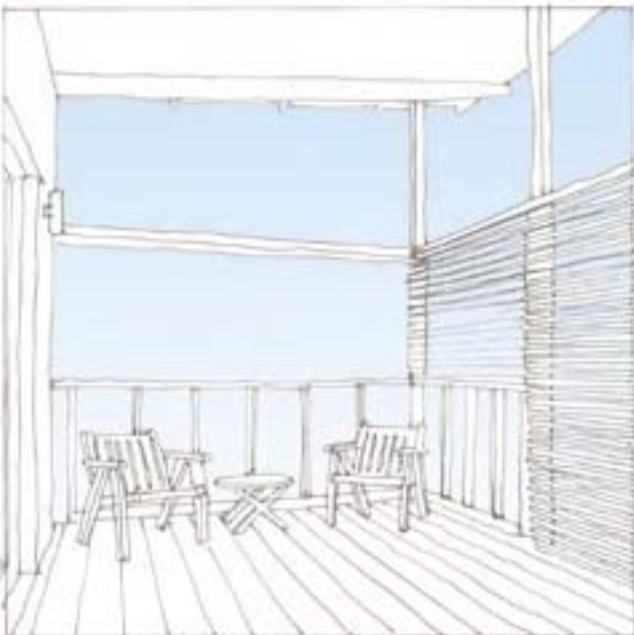


Figure 6 Louvres/ Shutters may be used as screening devices.

VISUAL PRIVACY

Council Requirement

Refer to Draft Greater Taree Residential Development Control Plan No. 40 (still on exhibition). The DCP states that:

A minimum of 9m is required between the windows of habitable rooms of facing dwellings that abut a public or communal street. This distance should be increased to 12m for windows above first-floor level.

Direct views between living area windows of adjacent dwellings must be screened or obscured where:

- Ground floor and first floor windows are within an area described by taking a 9m radius from any part of the window of adjacent dwellings. An area so defined is described as a 'privacy sensitive zone'.
- Other floor windows are within a privacy sensitive zone described by a 12m radius.
- Direct views from living rooms of dwellings into the principal area of Private Open Space of other dwellings must be screened or obscured within a privacy sensitive zone described by a 12m radius.

The windows of proposed dwelling that provide direct view into the living area/ bedroom windows of an adjoining dwelling must:

- Be located out of alignment with the windows of adjoining dwellings; or
- Have fixed obscure glazing to a minimum height of 1.7m above floor level; or
- Use another form of screening to the satisfaction of Council.

Design Guidelines

The outlook from a proposed dwelling into the private open space of another dwelling does not require screening where:

- Windows are in bathrooms, toilets, laundries, storage rooms or other non-habitable rooms;
- Windows have a minimum sill height of 1.7m above floor level or translucent glazing to a minimum height of 1.7m above floor level;
- Windows and balconies of upper level dwellings are purpose-designed to prevent overlooking of more than 50% of the private open space of a low-level or neighbouring dwelling.

Rooftop balconies and the like on residential developments and outbuildings are not permitted.

Design Guideline Requirement

Direct overlooking between buildings is to be minimised in the building layout and design and location of openings, windows, balconies and private open space.

Ground floor windows and openings should be screened by building elements, fencing 1.8m high or with dense, mature planting.

Where any floor above ground has windows or balconies with an outlook at an angle closer than 45 degrees to an opening or balcony in an adjacent dwelling, the window or balcony must be suitably screened.

Suitable screening methods include:

- Fixed obscure glazing in any part of the window less than 1500mm above floor level;
- Fixed external screening to windows or balconies;
- Sill heights greater than 1500mm above floor level.

Approved screening materials include:

- H3 treated timber battens/ shutters;
- Powdercoated aluminium, painted galvanised or anodised metal louvres/ shutters;
- Painted galvanised or stainless steel mesh.

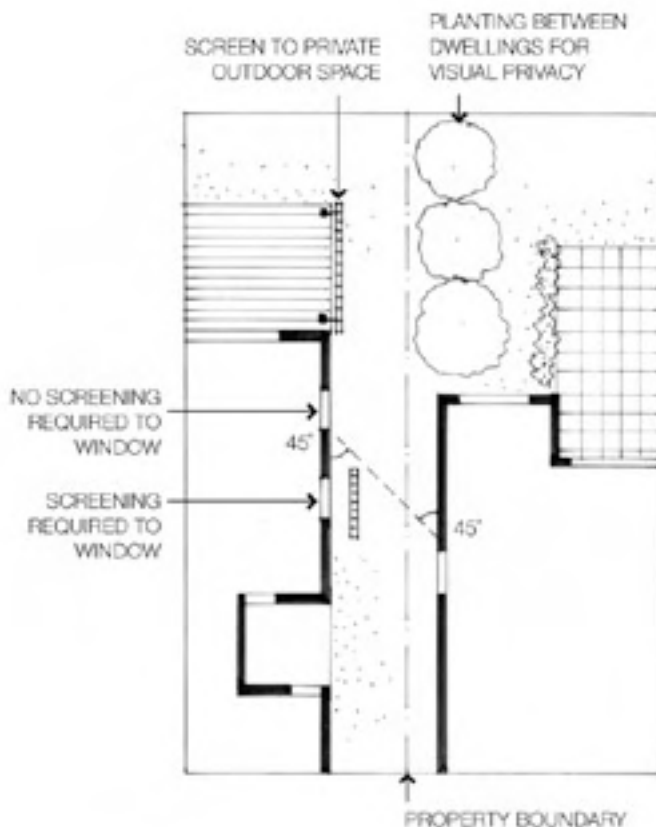


Figure 7 Visual Privacy Design Guidelines



SEASCAPE ON FIG TREE HILL

5.8 PRIVATE OPEN SPACE

Council Requirement

Objectives:

- Ground level private open space directly linked to the living areas of the dwelling;
- Locate private open space so that it takes advantage of solar access, privacy from adjacent properties, outlook and views, existing plantings and existing landform.

Requirement:

A minimum of 80sqm of private open space (with one part having dimensions 5m x 5m) must be provided behind the front building line.

Design Guideline Requirement

Over and above Council's requirements, part of the private open space behind the front building alignment is required to have minimum dimensions of 7m x 7m. For the location of the open space, refer to Appendix 2 — Building Envelope Master Plan and Appendix 3 — Building Envelope Plan (separate document) for each individual lot.

Part of the open space should be capable of enabling an extension of the function of the dwelling for relaxation, dining, entertainment, recreation and children's play, and be directly accessible from the dwelling. It's location and orientation in relation to the dwelling should provide for maximum year-round use.

Private open space should be screened where necessary to ensure privacy.

5.9 TOPOGRAPHY OF THE SITE

Dwellings and landscape design should be designed to minimise the amount of cut and fill required on the site. Dwellings raised above a sloping site on columns should be designed to step and follow the topography of the site to minimise the extent of 'undercroft' space and the height of columns.

Retaining walls must be constructed in rendered or coated masonry, boulders or dry stone wall. Materials such as 'Cribwall' and treated pine logs will not be accepted. Retaining walls should be screened with landscaping as far as possible.

Details of proposed retaining wall location, design and finishes must be submitted to the Design Review Panel for approval.

Design Guidelines



Figure 8 Private Open Space should be linked directly to living areas of the dwelling

6. DWELLING DESIGN INDIVIDUAL ALLOTMENT TYPES

6.1 TRADITIONAL ALLOTMENTS

North to Rear of Site

Dwellings are to be set back from allotment boundaries to ensure acceptable access to the dwelling from roadways, avoid overshadowing of adjoining allotments, enhance privacy, and create a high quality streetscape environment.

The following minimum building setbacks are required:

- Front: 5m from street frontage;
- Garages: 6.5m from street frontage;
- Sides: 0.9m from one side boundary, 1.8m from the other side boundary. The larger setback is to be located on the side of the dwelling whose orientation has the most northerly aspect;
- Rear: 4m from rear boundary. However, a dwelling ground floor setback can be relaxed to 2m from the allotment boundary for 30% of the width of the allotment;
- Zero lot lines will not be accepted.

Building forms are to be modulated such that:

The maximum length of a wall without a change in plane is to be 30% of the length of the site. Refer to Section 5.4 Building Height and Appendix 2 Building Envelope Plans for height controls.

Design Guidelines

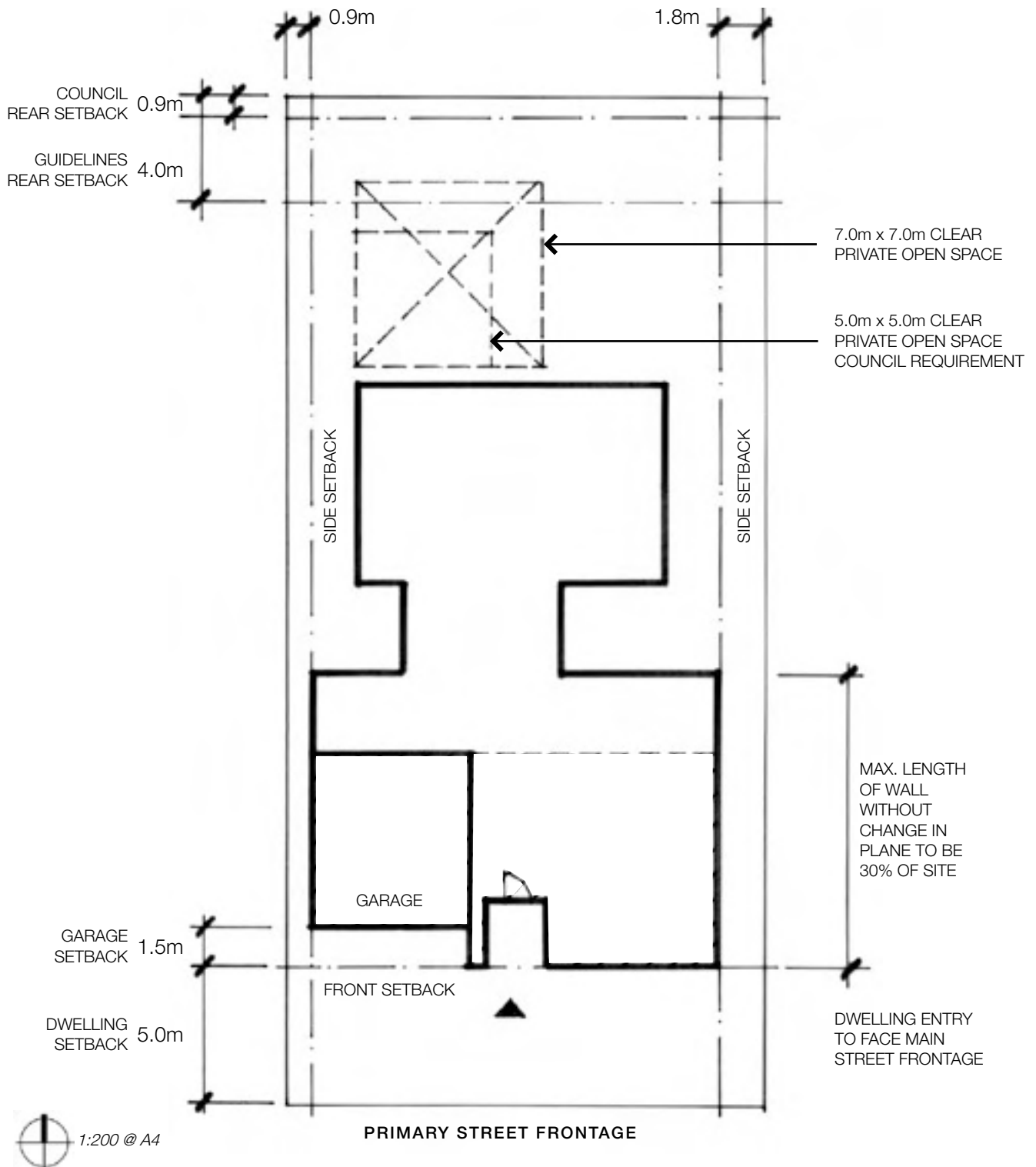


Figure 9 Traditional Allotment — North to Rear of Site



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North to Side of Site

Dwellings are to be set back from allotment boundaries to ensure acceptable access to the dwelling from roadways, avoid overshadowing of adjoining allotments, enhance privacy, and create a high quality streetscape environment.

The following minimum building setbacks are required:

- Front: 5m from street frontage;
- Garages: 6.5m from street frontage;
- Sides: 0.9m from one side boundary, 1.8m from the other side boundary. The larger setback is to be located on the side of the dwelling whose orientation has the most northerly aspect;
- Rear: 4m from rear boundary. However, a dwelling ground floor setback can be relaxed to 2m from the allotment boundary for 30% of the width of the allotment;
- Zero lot lines will not be accepted.

Building forms are to be modulated such that:

The maximum length of a wall without a change in plane is to be 30% of the length of the site. Refer to Section 5.4 Building Height and Appendix 2 Building Envelope Plans for height controls.

Design Guidelines

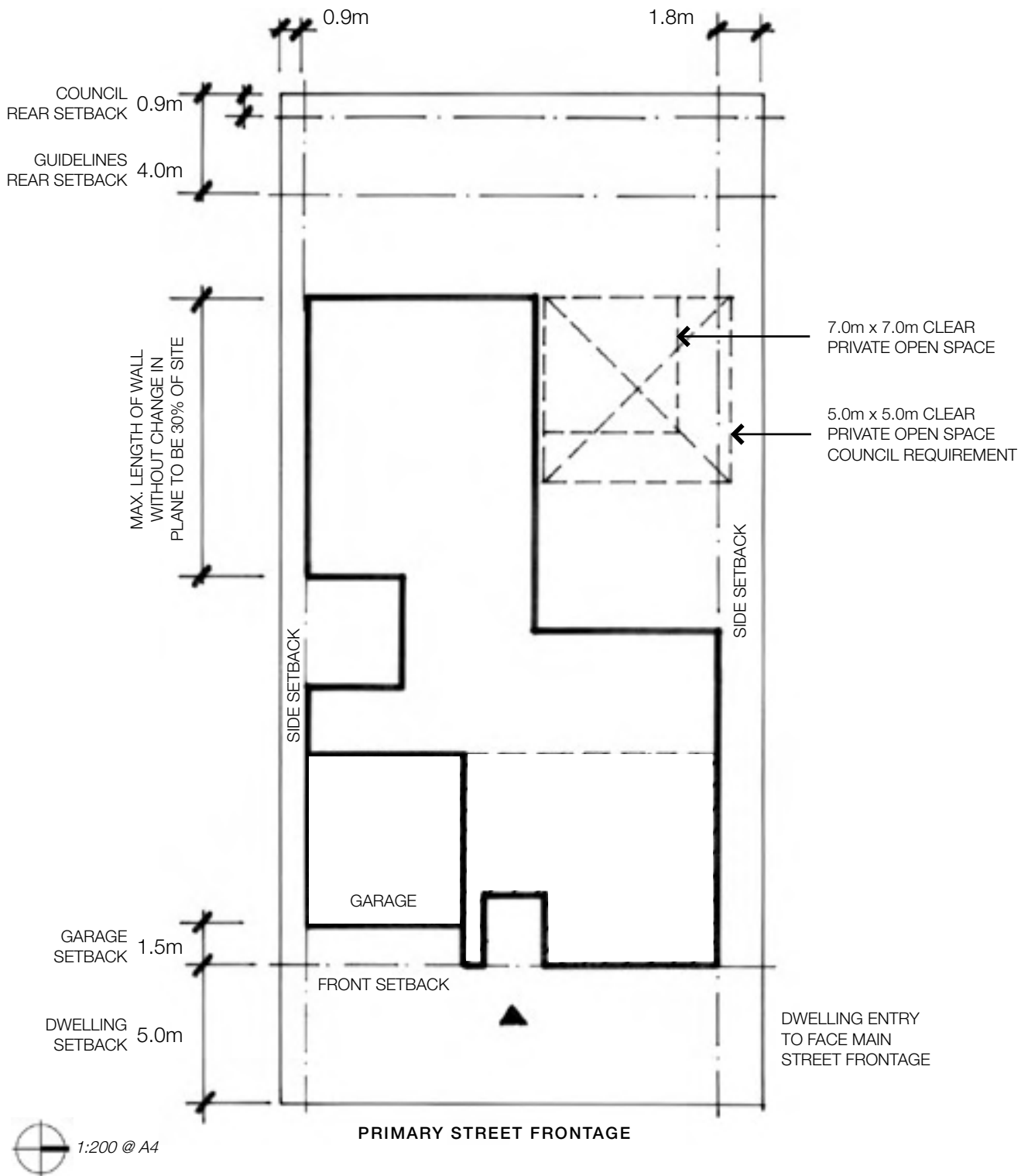


Figure 10 Traditional Allotment – North to Side of Site



SEASCAPE ON FIG TREE HILL

6.2 CORNER ALLOTMENTS

Dwellings are to be set back from allotment boundaries to ensure acceptable access to the dwelling from roadways, avoid overshadowing of adjoining allotments, enhance privacy, and create a high quality streetscape environment.

Corner allotments must have two articulated fronts and avoid having long blank walls with small openings facing the street.

The dwelling entry shall face the primary street frontage. Garages and driveway access may be located on either street frontage.

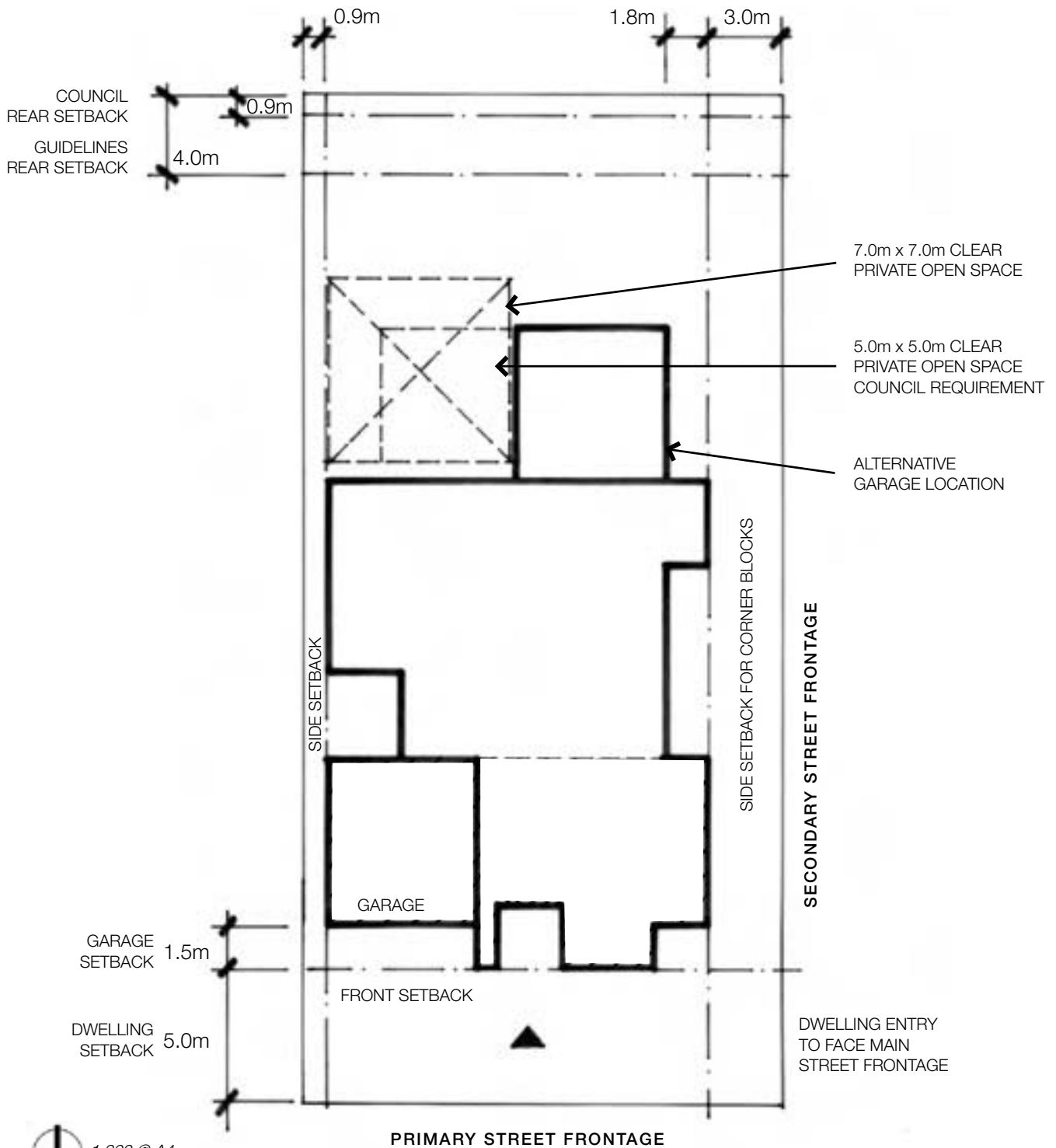
The following minimum building setbacks are required:

- Front: 5m from primary street frontage;
- Garages: 6.5m from the primary street frontage, or 4.5m from the secondary street frontage;
- Sides: 3m from secondary street frontage, 0.9m from side boundary;
- Rear: 3m from rear boundary. However, a dwelling ground floor setback can be relaxed to 2m from the allotment boundary for 30% of the width of the allotment;
- Zero lot lines will not be accepted.

Building forms are to be modulated such that:

- The maximum length of a wall without a change in plane is to be 30% of the length of the site.
- Refer to Section 5.4 Building Height and Appendix 2 Building Envelope Plans for height controls.

Design Guidelines



1:200 @ A4

Figure 11 Corner Allotment

SEASCAPE ON FIG TREE HILL

7. ARCHITECTURAL DESIGN

Homes in Seascape on Fig Tree Hill should be designed to reflect and celebrate the natural characteristics of the unique coastal setting. The intent of the architectural guidelines is to provide design direction for contemporary Australian Beach style homes designed for the Australian climate.

The intent of this section of the Design Guidelines is to establish a series of standards in relation to architectural character which dwellings within Seascape on Fig Tree Hill will be required to achieve. These standards have been developed to ensure architectural consistency throughout Seascape and to protect property values by ensuring that these minimum standards are achieved.

Architectural Character is an assessment criterion in the approval of house design at Seascape on Fig Tree Hill. Homes are required to comply with the following key elements of architectural character.

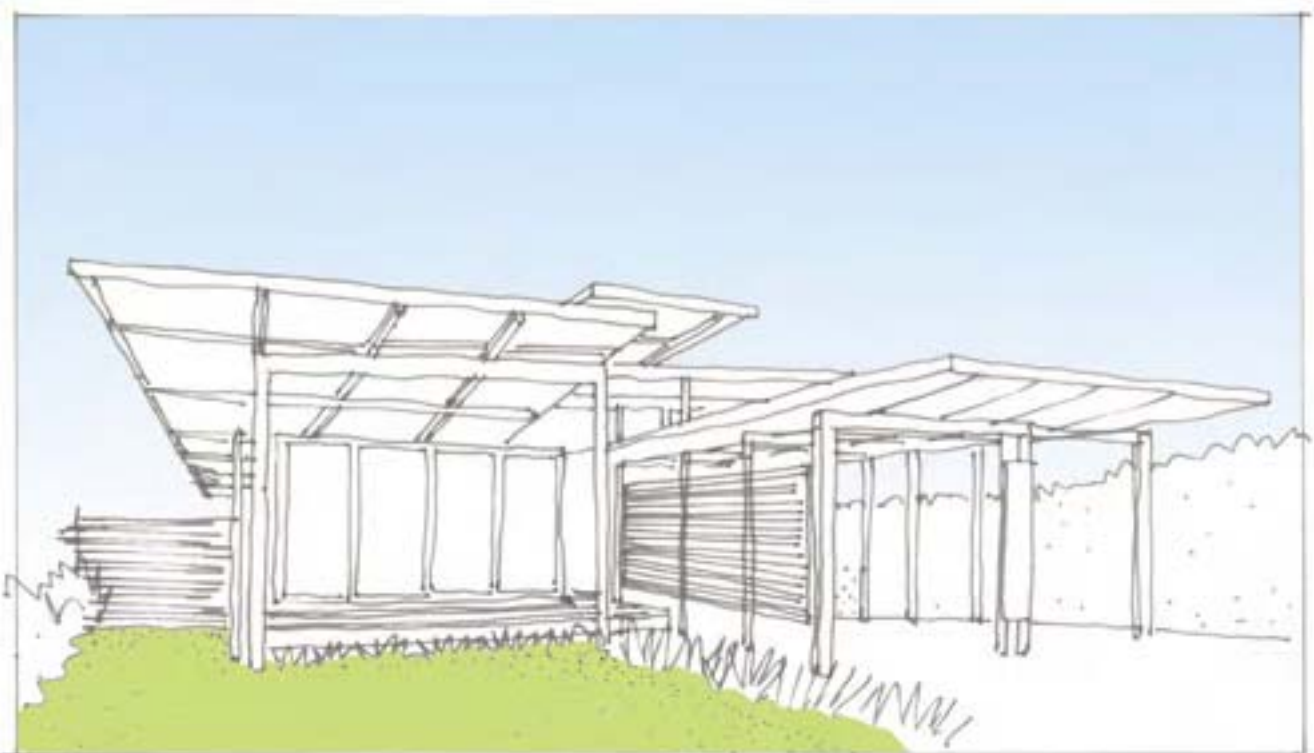


Figure 12 Roof Form Guidelines

Design Guidelines

ARCHITECTURAL STYLES

Mock historical reproduction styles and mixtures of styles such as Federation, Edwardian, Colonial, Victorian, Neo-classical, Georgian, Tuscan, Santa-Fe and Mediterranean are not permitted.

BUILDING FORM

Elevations

Elevations should be designed to have interesting and varied elevations, which present areas of light and shadow. This shall be achieved by articulating the façade through varying setbacks, punctuating the façade with openings, providing elements such as balconies, verandahs, porticoes, and overhanging eaves, and utilizing an harmonious palette of materials.

Roof Form

Roof form must be an integral part of the architecture of the dwelling and be of a scale, form, expression and construction reflective of the Australian beach-side setting. Proposed roof forms will be evaluated by the panel on their architectural merits.

Particular roof design requirements include:

- Flat roofs will be permitted only where hidden from view by parapets;
- Conventional hipped roofs are to have a minimum pitch of 25 degrees;
- Gutter and downpipe design must compliment the dwelling.



Figure 13 Roof Form Guidelines — Garages must be accommodated under the main dwelling roof; mock historical reproduction is not permitted



SEASCAPE ON FIG TREE HILL

BUILDING MATERIALS AND COLOURS

A mixed palette of harmonious materials and colours should be developed for each dwelling. Dwellings presenting 100% 'solid masonry wall' will not be approved.

Walls

Acceptable wall materials include:

- Masonry with a rendered and painted finish, or a bagged and painted finish;
- Face brickwork. Not to be used on more than 20% of the front elevation. (Note: Face brickwork may not be mottled or blend brickwork);
- Natural dressed stone;
- Plywood stained or with a low reflective painted finish;
- Compressed fibre cement sheeting, painted as a feature panel finish or with timber batten cover strips;
- Weatherboard, stained or with a low reflective paint finish;
- Colorbond/ Zinalume/ Mini Orb or corrugated sheeting.

Windows

Acceptable window and glazing systems:

- Timber or anodised/ powdercoated, commercial profiled aluminium framed windows are acceptable;
- External windows or doors with mock-Georgian panelling, leadlight or stained glass features shall not be accepted.

Roofs

Acceptable roofing materials include:

- Matt finished Colorbond or profiled metal deck similar;
- Flat shingle or slate profile roof tiles.

The Design Review Panel will consider other proposed building materials on their merit. Accessories must match or compliment main roof colouring.

Colours

External building colours should:

- Be complimentary to the beach-side setting, coastal landscape and Australian native palette. Colours need not be achieved via paint colours but may also be derived from the inherent colours of building materials.
- Be neutral and earthy.

Each dwelling design should develop a colour and material palette employing a neutral 'base' colour with accent materials and colours on features such as window frames, eaves, doors, feature walls and downpipes.

Design Guidelines



Figure 14 Roof Form Guidelines

SEASCAPE ON FIG TREE HILL

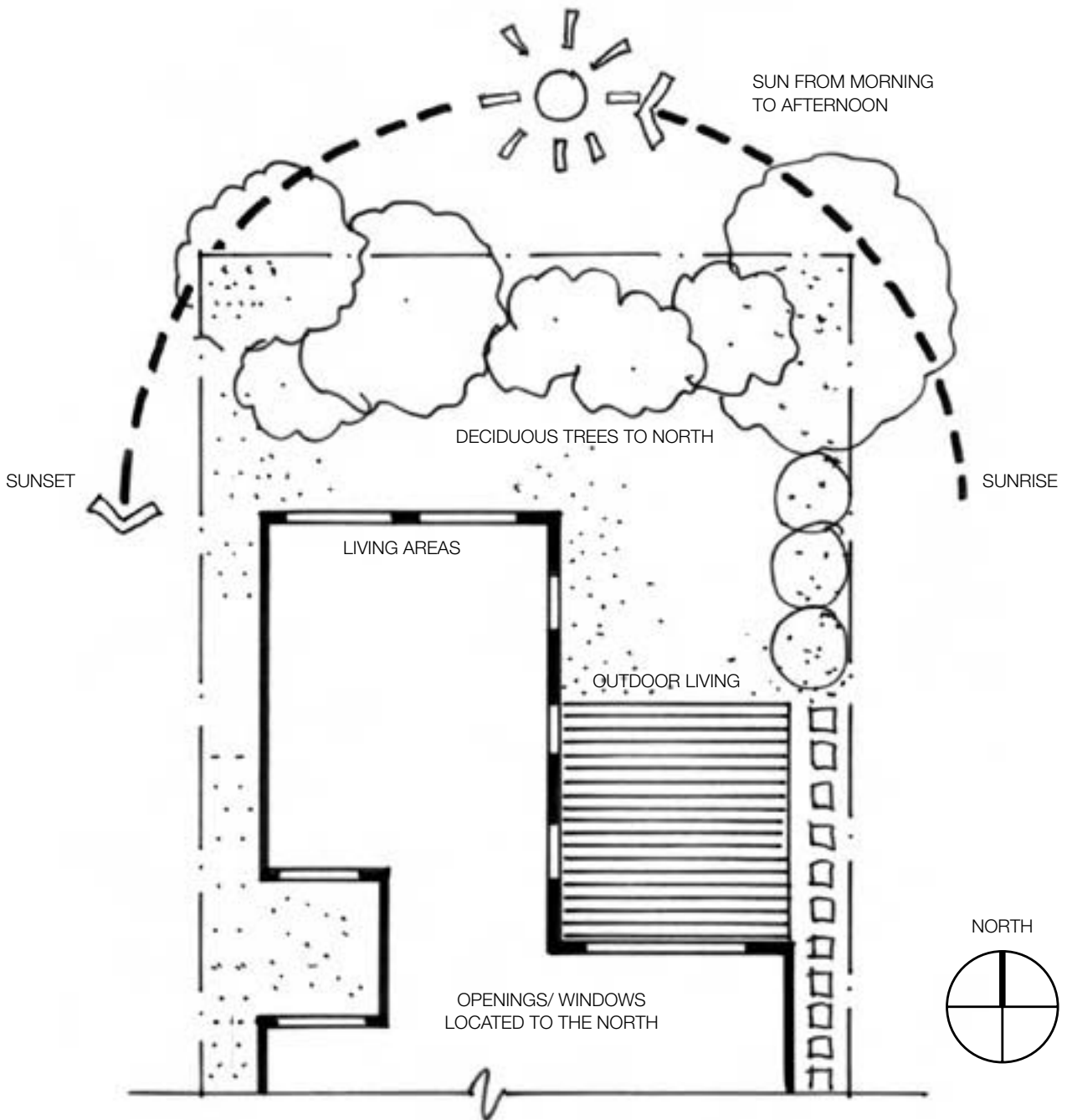


Figure 15 Energy Efficient Design

8. ENERGY EFFICIENT DESIGN

Council Requirement

Refer to Draft Greater Taree Residential Development Control Plan No. 40. The DCP requires that from 1 July 2005 proposals for all new dwellings in New South Wales achieve a BASIX rating of 25% for energy conservation and 40% for water conservation. Until that time, NatHERS requirements as outlined in Council's DCP apply.

Design Guideline Requirement

Dwellings must be designed to maximise energy efficiency through passive solar design and the incorporation of renewable energy sources where possible. These include:

- Solar electricity;
- Collection and reuse of rainwater on site;
- Use of renewable and recycled building materials in preference to non-renewable.

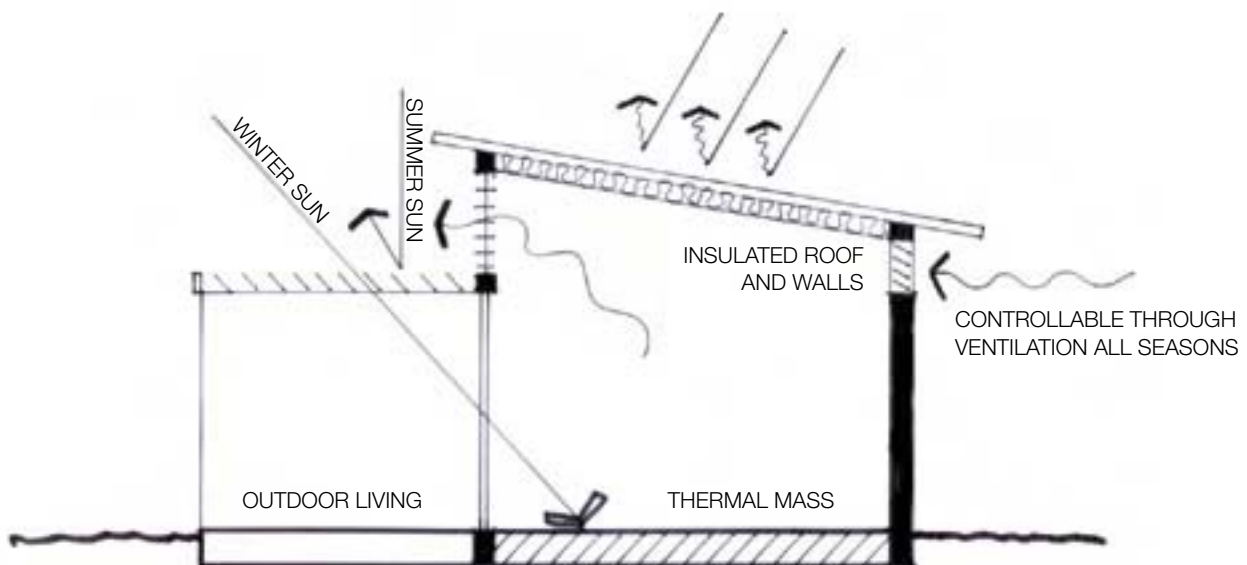


Figure 16 Thermal mass and sun control

SEASCAPE ON FIG TREE HILL



Figure 17 Diamond Beach, looking towards Fig Tree Hill

9. ANCILLARY STRUCTURES

Garden Sheds

Garden sheds must not be visible from the streets or public reserves, and must complement the house, be built of non-reflective material and be no greater than 6.0sqm. The maximum height of garden sheds is 2.4m with the maximum dimension of 3.0m.

Air conditioners

Dwellings should incorporate elements of sustainable design to overcome temperature differences. Where air-conditioning is used the following applies:

- Roof, wall and window mounted air conditioning units will not be permitted where they are visible from the street or public reserve areas. Air conditioners should be located below the eaves line and screened from public view and, where appropriate, fitted with noise baffles so as not to create a noise nuisance to adjacent neighbours.
- All ductwork must be concealed and installed to >R1.5 and refrigerant lines are to have a minimum of 20mm foam installation.

Aerials and Satellite Dishes

TV antennae or satellite dishes should be located on the roof where they are not visible from the street or public reserve.

Solar Hotwater Units

Solar Panels for hotwater should be located flush with the roofline, to minimise their visibility from the street and public spaces. No solar panels are to be seen from the primary and secondary street elevations.

Rainwater Tanks

Water storage tanks are to be located on the ground, not on or within the roof. Where above-ground rainwater tanks are used, they must be screened from the street and preferably slim line design in order to be less visually obtrusive.

Drying Areas

These should be screened from the street and located outside the 7m x 7m private open space area.

Letterboxes

Letterboxes should be incorporated into front walls or fences and be designed to reflect the main building character and design. They cannot be free standing elements.

Outdoor Front Lighting

The use of garden lighting is strongly encouraged although not required. Lighting associated with letterboxes, gate pillars, in-ground garden lighting and pathway bollard lighting are the preferred type.

SEASCAPE ON FIG TREE HILL

Fencing

Fences should have a finished appearance that complements the dwelling and contributes to privacy, security and amenity.

The detail of all perimeter and internal fencing is to be included for Design Review Panel approval.

All fences are to be either masonry, blockwork or timber. Timber fences shall not extend in front of the building alignment of any home.

Fences shall not be constructed of Colorbond, corrugated iron, second hand materials or concrete blocks (unless bagged and painted finish).

FRONT FENCING

Front fencing should not dominate the streetscape and is generally discouraged. If used it must comply with the following:

- 1.0m maximum in height, maintaining surveillance of the street from dwelling;
- Integration in the dwelling design;
- Incorporation of screen-planting elements.

Solid front fencing and walls up to 1.6m in height are appropriate where the main/ private communal space fronts the primary street.

Such fencing should:

- Be limited to a maximum width of 50% of the allotment frontage;
- Be integrated and complement the dwelling design;
- Incorporate a mix of 50% lightweight construction materials and 50% solid materials;
- Utilise screen planting to reduce the mass of walls.



Figure 18 Fencing Guidelines – Examples of suitable fence types

Design Guidelines

BOUNDARY FENCING

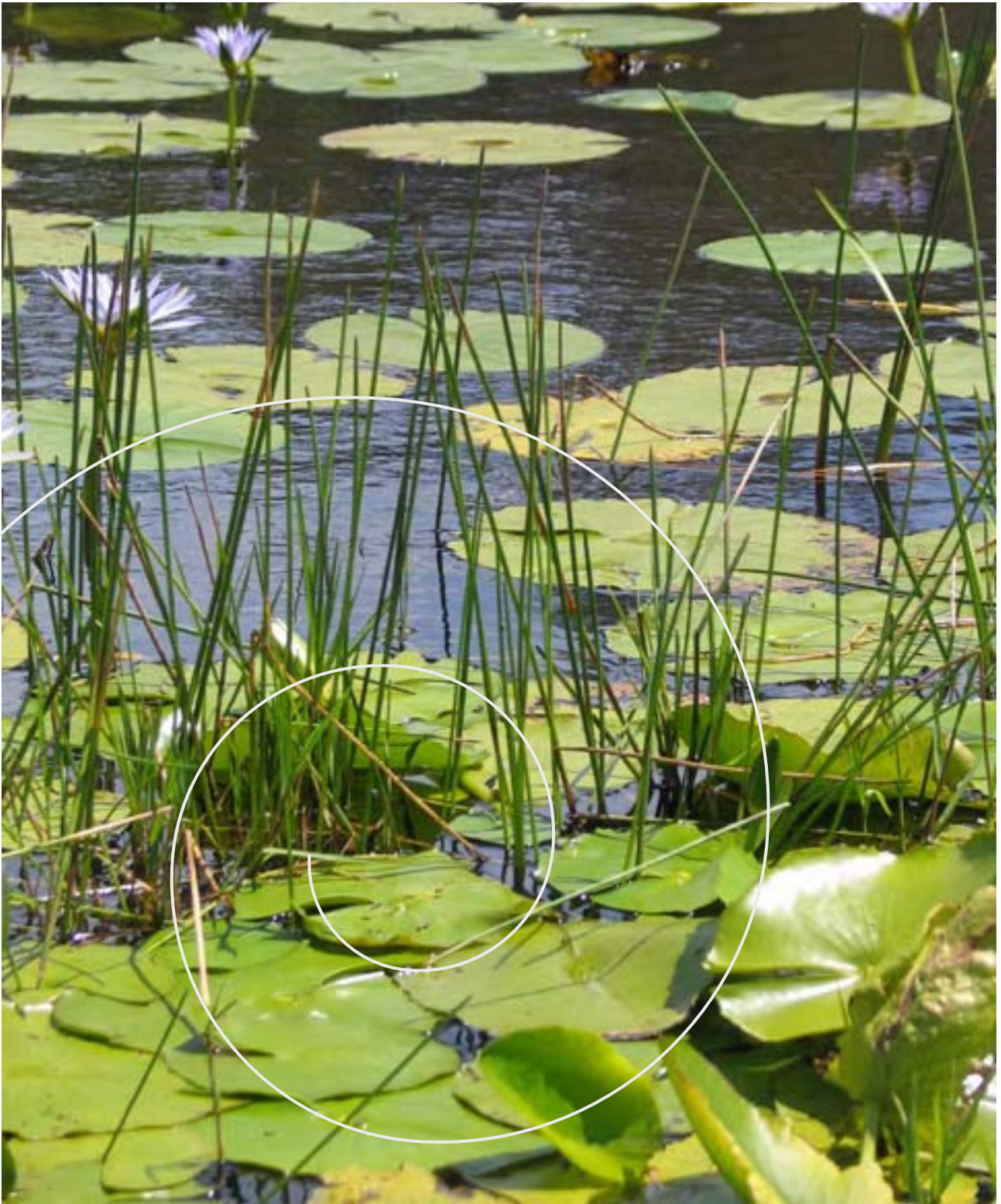
Fences are to be constructed of materials that complement the dwelling design and comply with the following:

- Not exceed 1.8m in height above the finished ground level;
- Finish 1.0m behind the building line of the dwelling;
- Be integrated and complement the dwelling design.

Any fencing joining onto a reserve and being visible from the public open space will be constructed by the Cornish Group.



SEASCAPE ON FIG TREE HILL



10. SITE MANAGEMENT

Prior to and during construction landowners at Seascap on Fig Tree Hill are responsible for:

ALLOTMENT MAINTENANCE

Prior to, during and after construction commencing, allotments must be kept clear of excessive weeds and rubbish and maintained to an acceptable standard. Excavation material, rubbish or builder's waste is to be stored in a covered bin, and may not be deposited on adjoining properties, nature strips or in public areas during construction.

STORAGE AND DELIVERIES

All building materials, temporary toilets and building equipment must be stored within the allotment boundaries at all times. The nature strip, footpaths, roadways, neighbouring properties and public areas must be kept clear at all times.

Any damage to areas outside the allotment will need to be rectified by the landowner.

Builders and their subcontractors are not to park on the adjoining allotments, surrounding public areas or nature strips.

SEASCAPE ON FIG TREE HILL

II. LANDSCAPE DESIGN PRINCIPLES

The primary purpose of these Landscape Design Principles is to outline issues and opportunities when considering siting of houses and landscape design. Furthermore, they will implement and promote a holistic awareness of Seascape on Fig Tree Hill and its surrounding natural environment.



Design Guidelines

11.1 SITE PLANNING

The first stage in planning the landscape is to analyse the site and establish potential constraints and opportunities. This analysis will help in achieving a coherent, cost effective, manageable and sustainable landscape.

Following is a checklist of considerations when planning your garden.

Site Analysis

- Analyse your site by determining slopes, soils, existing vegetation, views and northerly aspect;
- Establish climatic conditions such as wind exposure, shade, temperature and rainfall. Aim to establish a comfortable outdoor environment;
- Ascertain location of services, boundaries and easements;
- Verify the location of any setback controls.

Site Planning

- In planning, take advantage of the natural features and integrate the landscape with the house;
- Consider the potential size of plants and trees and potential issues such as shade, canopy size, leaf litter and power lines;
- Plan the function of the front, side and rear gardens such as courtyards, clothes drying areas, barbecue areas, paths, compost areas, garden furniture, storage, garden beds and play equipment;
- Consider the functional relationship between the outdoor and indoor areas, e.g. access to the laundry and clothes drying line, relationships of living areas and courtyards, and views.

SEASCAPE ON FIG TREE HILL



Figure 19 Hard Landscaping Materials

Design Guidelines

11.2 HARD LANDSCAPING

Hard landscaping elements include driveways, paths, outdoor recreational spaces, fences, pools, pergolas, screens, shelters, ponds, water features, sculptures and furniture.

Hard landscape elements should:

- Be durable and handle exposure and site constraints such as wind, sun and salt;
- Complement elements of architecture in material, texture and colour;
- Create a coherent package of external elements.

Materials Palette

- In situ coloured concrete paving;
- Precast concrete pavers, generally 200 x 200mm or 400 x 400mm;
- Gravel/ natural stone paving;
- Local stone wall capping and facings;
- Timber fencing/ decking/ steps.

Finishes Palette

- In situ concrete — coloured, broom finish, selected aggregate or exposed aggregate;
- Precast coloured concrete pavers — plain, honed or split faced;
- Masonry or clay pavers;
- Masonry walls and fences should be rendered, bagged or coated to complement architectural finishes;
- Timber — unstained finish in reference to the sites marine link;
- Natural stone to match walling types all with high slip abrasion resistance;
- Compacted decomposed granite.

Stencilled or painted concrete are not permitted, neither are bright colours. Preferred colours are earthy colours, dark charcoal, off-white, deep rusty red, bronze or dark brown colours.

Other furnishings such as tables and chairs, bench seats and sculptures shall be placed to suit visual and functional needs.

SEASCAPE ON FIG TREE HILL

11.3 SOFT LANDSCAPING

Soft landscape elements include trees, shrubs, groundcovers, mulches and turf.

The gardens of private dwellings will provide the opportunity for residents to shape their open space according to their individual taste while complementing the overall theme of the development.

In the interest of creating a unified image, a number of plant selection palettes for trees, shrubs and groundcovers have been designed to provide homeowners with appropriate choices (refer 11.4 Plant Selection Palette). They have been selected due to their ability to withstand the coastal environment and contribute positively to the character of the dwellings.

Soft landscape elements should:

- Achieve a balance of planting and turf, at a ratio of 60% turf and 40% planting beds;
- Emphasize Australian native plant species;
- Be characteristic to the coastal environment;

- Be used to soften hard landscape elements such as walls and fences;
- Provide screening and shelter;
- Provide interest through seasonal flowering habit, flower scents and the textures and colours of foliage and bark.

Suggested turf species:

- Buffalo ST85 Soft Leafed, *Stenotaphrum Secundatum*;
- Couch Greenlees Park, *Cynodon Dactylon* sp Greenlees Park;
- The use of Kikuyu lawn will not be accepted.

Suggested mulches (min. 75mm layer):

- Medium to fine grades of hoop pine or recycled woodchips mulch;
- Local rocks of 25-75mm diameter;
- Forest blend leaf litter.



Figure 20 Soft Landscaping Guidelines — Planting examples

Design Guidelines

Plant Extent, Density and Size

Landscaping within public view, i.e. front yards and rear yards where adjoining a public reserve, must be completed within 3 months of the house and fence completion, as assessed by the Panel.

Landscaping works must be completed:

- To ensure all surfaces are stabilized;
- To provide a completed house and landscape package that contributes to the streetscape and amenity of the estate.

Minimum plant sizes have been recommended to ensure a level of establishment at time of planting:

	SIZE	SPACING/ DENSITY
Trees	25 litre	5m to 10m
Shrubs	15 litre 5 litre	500mm to 1m
Groundcovers	150mm pots	1 to 5 / m2

Where mass planting is required beds should be planted with the same or complementary species to achieve the desired effect.

Shade trees should be used to provide shelter and shade from the sun.

Local Nurseries

All recommended plants can be sourced at the local nurseries, e.g.

Bluedale Enterprises
126 Redbank Road Wauchope NSW 2446
Ph: 6568 0100





Parkland Nursery
159 Bull Hill Road Tinonee NSW 2430
Ph: 6553 1465

Dingo Creek Rainforest Nursery
Bulga Road Bobin NSW 2429
Ph: 6550 5167




SEASCAPE ON FIG TREE HILL

11.4 PLANT SELECTION PALETTE - Trees





BOTANICAL NAME	<i>Alphitonia excelsa</i>	<i>Archontophoenix cunninghamiana</i>	<i>Backhousia myrtifolia</i>	<i>Banksia integrifolia</i>
COMMON NAME	Red Ash	Bangalow Palm	Grey Myrtle	Coast Banksia
NATIVE	✓	✓	✓	✓
BEST LOCATION	sheltered	sheltered	sheltered	sheltered/ exposed
MATURE HEIGHT	to 20m	to 15m	to 15m	to 5m/ 12m
IMAGE				

Plant Selection Palette - Trees (continued)





BOTANICAL NAME	<i>Banksia serrata</i>	<i>Buckinghamia celsissima</i>	<i>Callistemon salignus</i>	<i>Cupaniopsis anacardioides</i>
COMMON NAME	Old Man Banksia	Ivory Curl Flower	Willow Bottlebrush	Tuckeroo
NATIVE	✓	✓	✓	✓
BEST LOCATION	sheltered/ exposed	exposed	sheltered	sheltered/ exposed
MATURE HEIGHT	to 5m/ 12m	to 10m	to 10m	to 9m
IMAGE				

Design Guidelines

Plant Selection Palette - Trees (continued)





BOTANICAL NAME	<i>Elaeocarpus reticulatus</i>	<i>Eucalyptus microcorys</i>	<i>Eucalyptus propinqua</i>	<i>Eucalyptus punctata</i>
COMMON NAME	Blueberry Ash	Tallowwood	Small-fruited Grey Gum	Grey Gum
NATIVE	✓	✓	✓	✓
BEST LOCATION	exposed	sheltered	sheltered	sheltered
MATURE HEIGHT	to 15m	to 15m	to 15m	to 15m
IMAGE				

Plant Selection Palette - Trees (continued)





BOTANICAL NAME	<i>Ficus macrophylla</i>	<i>Ficus rubiginosa</i>	<i>Glochidion ferdinandi</i>	<i>Livistona australis</i>
COMMON NAME	Moreton Bay Fig	Port Jackson Fig	Cheese Tree	Cabbage Tree Palm
NATIVE	✓	✓	✓	✓
BEST LOCATION	sheltered	sheltered	exposed	sheltered
MATURE HEIGHT	to 15m	to 10m	to 8m	to 12m
IMAGE				

SEASCAPE ON FIG TREE HILL

Plant Selection Palette - Trees (continued)





BOTANICAL NAME	<i>Lophostemon confertus</i>	<i>Melaleuca quinquenervia</i>	<i>Melaleuca styphelioides</i>	<i>Syncarpia glomulifera</i>
COMMON NAME	Brush Box	Paperbark	Prickly-leaved Tea Tree	Turpentine
NATIVE	✓	✓	✓	✓
BEST LOCATION	exposed	exposed	sheltered	sheltered
MATURE HEIGHT	to 12m	to 8m	to 7m	to 15m
IMAGE				

Plant Selection Palette - Shrubs





BOTANICAL NAME	<i>Acmena smithii</i>	<i>Allocasuarina torulosa</i>	<i>Elaeocarpus obovatus</i>	<i>Ficus coronata</i>
COMMON NAME	Lilly Pilly	Forest Oak	Hard Quandong	Sandpaper Fig
NATIVE	✓	✓	✓	✓
BEST LOCATION	sheltered	sheltered	sheltered	sheltered
MATURE HEIGHT	to 9m	to 7m	to 7m	to 8m
IMAGE				

Design Guidelines

Plant Selection Palette - Shrubs (continued)





BOTANICAL NAME	<i>Hibiscus heterophyllus</i>	<i>Hibiscus tiliaceus</i>	<i>Leptospermum laevigatum</i>	<i>Pandanus pedunculatus</i>
COMMON NAME	Native Hibiscus	Cottonwood	Coast Tea Tree	Screwpine
NATIVE	✓	✓	✓	✓
BEST LOCATION	sheltered	exposed	exposed	sheltered
MATURE HEIGHT	to 4m	to 5m	to 5m	to 8m
IMAGE				

Plant Selection Palette - Shrubs (continued)





BOTANICAL NAME	<i>Pittosporum revolutum</i>	<i>Pittosporum undulatum</i>	<i>Syzygium luemahnii</i>	<i>Westringia fruticosa</i>
COMMON NAME	Yellow Pittosporum	Sweet Pittosporum	Lilly Pilly	Coastal Rosemary
NATIVE	✓	✓	✓	✓
BEST LOCATION	sheltered	sheltered	exposed	exposed
MATURE HEIGHT	to 5m	to 5m	to 5m	to 2m
IMAGE				

SEASCAPE ON FIG TREE HILL

Plant Selection Palette - Groundcovers





BOTANICAL NAME	<i>Carex appressa</i>	<i>Carpobrotus glaucescens</i>	<i>Dianella caerulea</i>	<i>Doodia aspera</i>
COMMON NAME	Tussock Sedge	Pig Face	Flax Lily	Rasp Fern
NATIVE	✓	✓	✓	✓
BEST LOCATION	exposed/ sheltered	exposed	exposed/ sheltered	exposed/ sheltered
MATURE HEIGHT	to 1m	to 0.3m	to 0.5m	to 0.3m
IMAGE				

Plant Selection Palette - Groundcovers (continued)



BOTANICAL NAME	<i>Gahnia clarkei</i>	<i>Grevillea curviloba</i>	<i>Hibbertia scandens</i>	<i>Juncus usitatus</i>
COMMON NAME	Saw Sedge	Prostrate Shrub	Snake Vine	Common Rush
NATIVE	✓	✓	✓	✓
BEST LOCATION	sheltered	exposed/ sheltered	exposed/ sheltered	exposed/ sheltered
MATURE HEIGHT	to 1m	to 1m	to 4m	to 1m
IMAGE				

Design Guidelines

Plant Selection Palette - Groundcovers (continued)

BOTANICAL NAME	<i>Lomandra longifolia</i>	<i>Lomandra 'TANIKA'</i>	<i>Poa labillardieri</i>	<i>Scaevola 'Purple Fanfare'</i>
COMMON NAME	Spiky-headed Mat-rush	Fine Leaf Dwarf Lomandra	Common Tussock Grass	Scaevola
NATIVE	✓	✓	✓	✓
BEST LOCATION	exposed/ sheltered	exposed/ sheltered	sheltered	exposed
MATURE HEIGHT	to 1.3m	to 0.7m	to 1m	to 0.3m
IMAGE				

Plant Selection Palette - Groundcovers (continued)

BOTANICAL NAME	<i>Themeda australis</i>	<i>Viola hederacea</i>
COMMON NAME	Kangaroo Grass	Native Violet
NATIVE	✓	✓
BEST LOCATION	sheltered	exposed/ sheltered
MATURE HEIGHT	to 1m	to 0.2m
IMAGE		

SEASCAPE ON FIG TREE HILL

11.5 INDOOR — OUTDOOR LIVING

External living areas should have a direct relationship with internal spaces. The outside furniture should complement the character of the architecture with soft and hard landscape elements.

Outdoor living areas can consist of decks, patios, terraces, pergolas or courtyards. Their furnishings and colour palettes shall form an integral part of the overall theme including architectural finishes and internal treatments.

Outdoor living areas should:

- Be located to take advantage of positive climatic influences such as morning sun and southeast/ northwest breezes;
- Have surface treatments that cater for comfort as well as wear and tear due to the high level of use including paving, concrete, timber decking;
- Address the multiple uses of spaces.

11.6 ORIENTATION

Consideration of orientation in dwelling and garden design will ensure a comfortable and functional home.

Outdoor living areas shall take advantage of existing views and vistas. Where practicable, they shall be provided to the sunny north and northeast areas of the dwelling. Northwest areas are particularly suitable for winter outdoor living spaces.

The open space should take advantage of prevailing southeast and northwest breezes. Screening can provide shelter from winter westerly winds.

Consideration of orientation should be given to garden beds and lawns. Lawns are not recommended in shaded areas.

Shaded south facing areas shall use shade tolerant plants or cater for alternative finishes such as pathways or river gravel/ stone.



Figure 21 Privacy — screening with structure and planting



Figure 22 Privacy — bamboo used as screen

Design Guidelines

11.7 PRIVACY

Privacy should be considered for:

- Outdoor living areas;
- The street interface;
- Adjoining parkland interfaces;
- Adjoining residence boundaries;
- Clothes drying areas.

Privacy shall be demonstrated through one or more of the following measures:

- Use of fencing;
- Use of screen planting and hedging;
- Use of trees;
- Use of climbers and trellis structures;
- Use of garden areas to create a barrier or transition zone;
- Use of low mounding;
- Use of pergolas (for views from above).

Where instant privacy requirements are necessary, built forms or screens are recommended until planting screens establish. Plant species for screening purposes may be purchased at larger pot sizes for immediate impact. Screening consideration should be given to maintaining views from the site/ dwellings to the coastal zone and ocean.



Figure 23 Private Courtyard

SEASCAPE ON FIG TREE HILL

11.8 SERVICE REQUIREMENTS

Consideration must be made for service areas as functional necessities for day-to-day living.

Service areas should:

- Provide access to rubbish bins from kitchens, outdoor living areas and ease of access to the street for refuse collection. Hose cocks should be installed within reach of bins for wash down. Shade and/ or screening of bin enclosures should be provided;
- Provide easy access to meters for service authorities and consider access for maintenance around the perimeter of the house;
- Allocate areas for service and maintenance equipment and for composting if required;
- Provide clear numbering for house and/ or letterboxes; enable adequate space for mail delivery and retrieval.

11.9 SHADE AND SHELTER

Shade structures or shade trees provide a reduction in the impact of glare from architectural elements and offer protection from the hot summer sun as well as winter winds.

Shade trees shall be provided in all properties. Four trees at minimum size 25 litres is recommended for each dwelling. Additional trees can be planted where space and functional requirements permit.

The trees should be carefully positioned to maximise the benefits of the solar orientation of the dwelling. Deciduous trees (which lose their leaves in winter) should be located on the sunny sides of the dwelling to create shade during summer, while allowing in light and warmth during winter.



Figure 24 Shelly Beach

Design Guidelines

Shade trees are recommended in the following areas:

- In/ near outdoor recreation spaces to protect the house from hot summer sun;
- Along large hardstand areas such as driveways and paths;
- Along garden boundaries to provide shelter from westerly winter winds.

11.10 PREPARATION AND PLANTING

Plant survival will be enhanced by site preparation and improving the quality of the soil medium and site conditions. Mulching can be applied to retain soil moisture and restrict weed growth.

Preparation should include the following:

- Existing compacted topsoil should be cultivated to a depth of 100 - 300mm to improve aeration and promote infiltration and root growth;
- Existing topsoil should be enhanced by adding organic matter to the top 200mm depth. Imported topsoil shall be weed free;
- Gardens should be mulched to a minimum depth of 75mm using organic mulches such as straw or woodchip. Inorganic mulches such as gravel or river pebbles should be laid to a minimum depth of 50mm.



SEASCAPE ON FIG TREE HILL

11.11 DRAINAGE

The landscape drainage is an integrated approach to be combined with other drainage measures in this set of design guides.

Landscape drainage applies to all exterior areas without dwellings on them. The following applications are to be incorporated into landscape design strategies:

- Groundwater recharge;
- On site detention and storage;
- Water reuse and reduced use;
- Reduction of surface water runoff and evaporation.

Suggestions for achieving above principles include:

- Maximising permeable surfaces by:
 - avoiding large areas of paved surfaces;
 - increasing size of planting bed;
 - using permeable materials, or laying paving units apart;
 - instead of one large paved area, a number of smaller paved areas gives more evenly distributed groundwater recharge.

- Mulching garden beds to reduce loss of topsoil, hold water longer, and reduce surface water flow;
- Maintaining soil quality to retain water. Avoiding hydrophobic soils by allowing soil not to dry out completely with shorter regular watering and mulching;
- Reuse of grey water and designing drip irrigation systems for watering the garden;
- Capturing water off roofs and other hard surfaces and installing rainwater tanks;
- Establishing plants with low water requirements and native plants;
- Creating shaded areas for more habitable microclimates and reducing evaporation;
- Reusing or recycling garden refuse, e.g. reusing leaf litter on planting beds;
- Avoiding hosing of hard paved surfaces;
- Avoiding debris to enter the stormwater system.



Figure 25 Pavers laid apart for water permeability

Design Guidelines



SEASCAPE ON FIG TREE HILL



Design Guidelines

APPENDIX I BUILDING REVIEW APPLICATION FORM

Lot number: _____ Street Address: _____ Proposed Home Type: _____

A. OWNER'S DETAILS

Name: _____

Address: _____

Contact Numbers: Home: _____ Business: _____

Mobile: _____ Facsimile: _____

Email: _____

B. ARCHITECT'S DETAILS

Name: _____

Address: _____

Contact Numbers: Home: _____ Business: _____

Mobile: _____ Facsimile: _____

Email: _____

C. HOUSE DETAILS

1. What is the site cover of the home? (refer clause 5.2)

Ground Floor: _____ First Floor: _____ Other: _____

2. What is the floor area of the home? (refer clause 5.3) _____

3. Does your design encroach outside of the building envelopes as shown within the design guidelines? (refer clause 5.4) _____

4. How many car parking spaces have been provided on the allotment? (refer clause 5.5)
Garaged: _____ Open: _____ Other: _____

5. What is the setback from the front extremity of the dwelling to the garage?
(refer clause 5.5) _____

6. What is the driveway to be constructed of? (refer clause 5.6) _____

7. How has the privacy of adjoining homes been considered? (refer clause 5.7) _____

8. How much private open space has been provided? (refer clause 5.8) _____

9. Where has the private open space been provided? (refer clause 5.8) _____

10. Are any retaining walls proposed? (refer clause 5.9) _____
If yes, what are they to be constructed from? _____



SEASCAPE ON FIG TREE HILL

11. What are the setbacks to your home? (refer clause 7.1 to 7.4) (looking from primary street frontage)
Front: _____ Left side: _____
Right side: _____ Rear: _____
13. What elements of energy efficient design have been incorporated? (refer clause 9.0)
Solar electricity: _____ Gas appliances: _____
Collection of rainwater: _____ Use of renewable energy sources: _____
Use of renewable building materials: _____
14. What NatHERs rating has your home received? (Include certification) _____
15. What BASIX Certificate rating has your home received? (Include certification) _____

D. LANDSCAPE DETAILS

1. What is the site cover of the home? (refer clause 5.2)
Ground Floor: _____ First Floor: _____
2. How many trees are proposed for the dwelling? (refer clause 11.9) _____

E. ATTACHMENTS

- | | | |
|--|--|--|
| <input type="checkbox"/> Site Plan (1:200 min.) | <input type="checkbox"/> Longitudinal & Cross Sections | <input type="checkbox"/> Ancillary Structures Designs |
| <input type="checkbox"/> Floor Plan (1:100 min.) | <input type="checkbox"/> Landscape Plan (1:100) | <input type="checkbox"/> Shadow Diagrams |
| <input type="checkbox"/> Roof Plan (1:100 min.) | <input type="checkbox"/> Fencing/ Hedging Details | <input type="checkbox"/> Materials and Colour Schedule |
| <input type="checkbox"/> Elevations | <input type="checkbox"/> Letterbox Design | |

F. EXTERNAL MATERIALS AND COLOURS

Please attach samples where possible.

Primary Wall Material: _____ Colour / Supplier: _____
Secondary Wall Material: _____ Colour / Supplier: _____
Roof Material: _____ Colour / Supplier: _____
Garage Door Material: _____ Colour: _____
Guttering Colour: _____ Fascia Colour: _____
External Details (e.g. posts, pergolas) Material and Colour: _____
Driveway Material and Type: _____ Colour: _____
Fence/ Hedge/ Wall/ Retaining Wall Material, Type and Colour: _____

Signature of Applicant: _____ Owner Architect
Date: _____

Please return completed form with attachments to:
Cornish Group, Ref. Seascape on Fig Tree Hill, PO Box 258, Pyrmont NSW 2009

Design Review Panel: _____ Outstanding Issues Approved

Comments/ Issues: _____

Further Action: _____



Design Guidelines

APPENDIX 2 BUILDING ENVELOPE MASTER PLAN

Refer to the following Master Plan for outlines of permissible one- and two-storey dwelling envelopes. Specific Building Envelope Plans are available to the potential buyer of each site.



SEASCAPE ON FIG TREE HILL